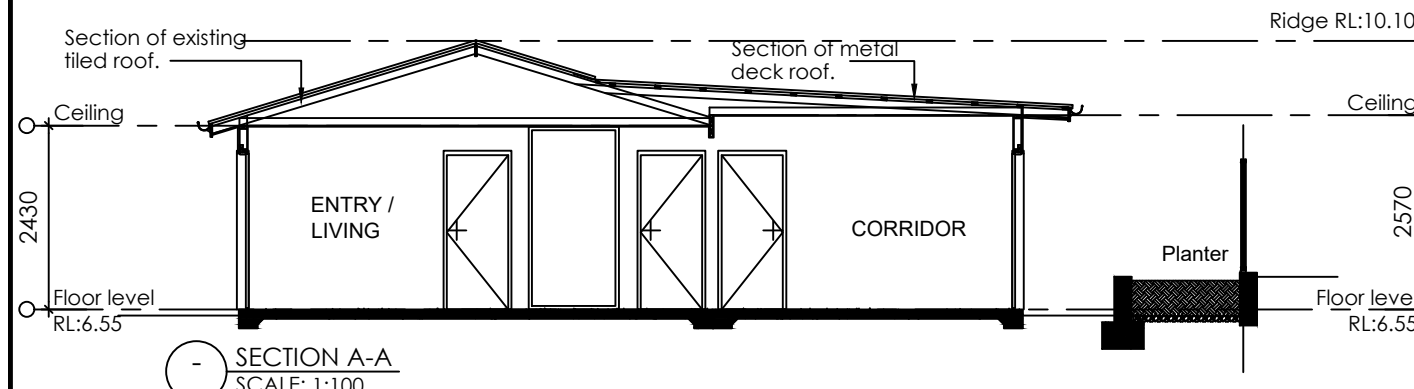
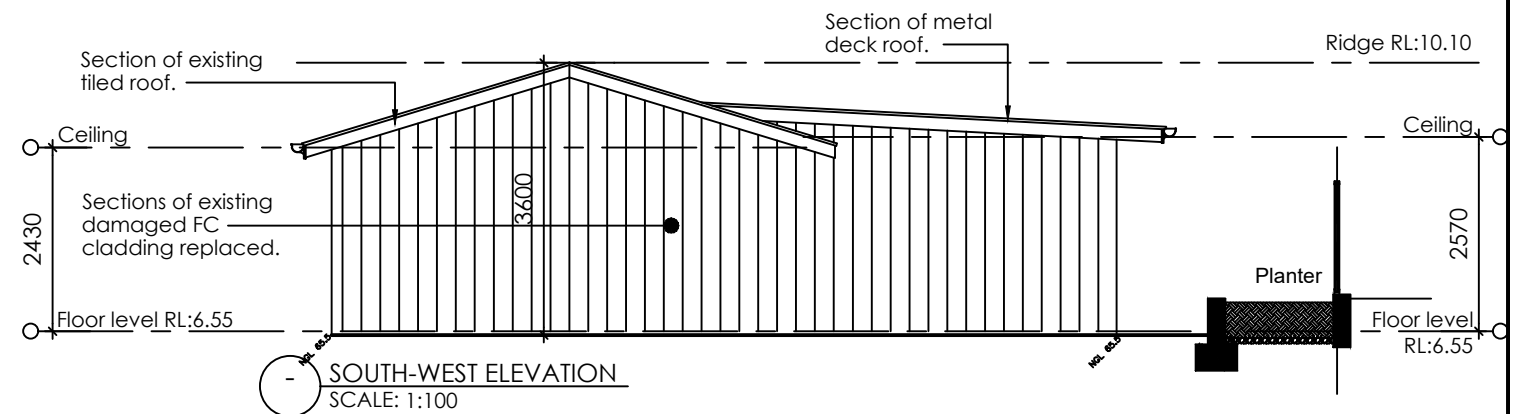


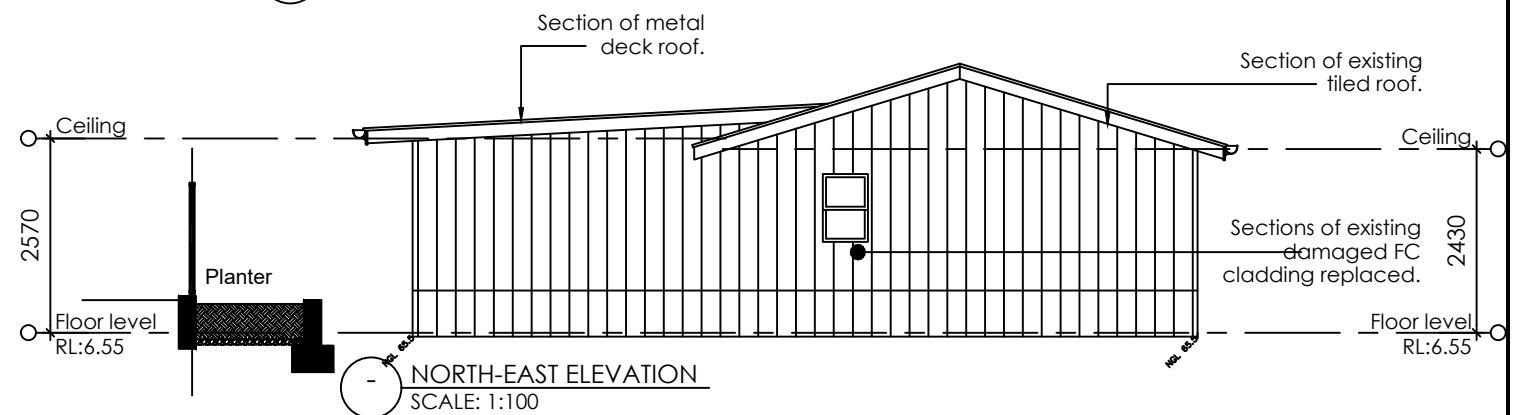
EXISTING FLOOR PLAN (GRANNY FLAT)  
SCALE: 1:100



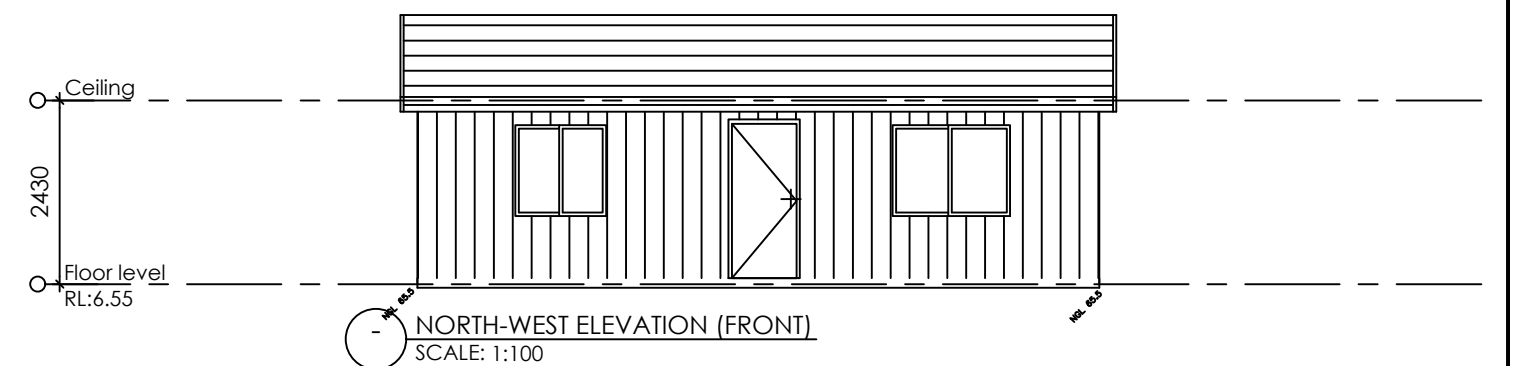
SECTION A-A  
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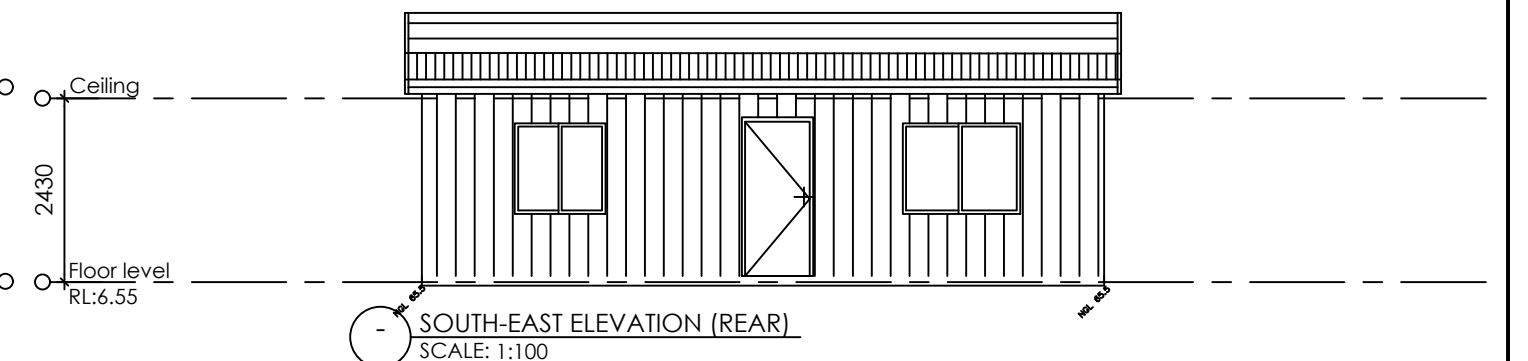
SOUTH-WEST ELEVATION  
SCALE: 1:100



NORTH-EAST ELEVATION  
SCALE: 1:100



NORTH-WEST ELEVATION (FRONT)  
SCALE: 1:100



SOUTH-EAST ELEVATION (REAR)  
SCALE: 1:100

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**inkon plans**  
architectural drafting group

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Mobile: 0414 671 114  
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CLIENTS NAME:  
**MR. SATYA SINGH**

ADDRESS:  
**30 MONIE AVENUE**

SUBURB:  
**EAST HILLS NSW**


DRAWING TITLE:  
**EXISTING PLAN AND ELEVATIONS**

DATE DRAWN:  
**02.10.2024**

DRAWN:  
**CH**

SCALE:  
**1:100**

DRAWING NO:  
**02**

  
**NORTH**

JOB NO:  
**20240016**

SITE AREA:	974.9 SQM
EXISTING FLOOR AREA	
EXISTING DWELLING:	194.50 SQM
UNAUTHORISED GRANNY FLAT:	86.20 SQM
TOTAL LIVING AREA:	280.70 SQM
INCLUDES INT. WALLS & EXCLUDES PATIO, STAIR VOID, BALCONIES AND GARAGE	
MAX. ALLOWABLE FSR BY COUNCIL:	487.45 SQM 50%

PROPOSED FLOOR AREA	
DWELLING GROUND FLOOR:	194.50 SQM
PROPOSED GRANNY FLAT:	59.78 SQM
TOTAL LIVING AREA:	254.28 SQM
INCLUDES INT. WALLS & EXCLUDES PATIO, STAIR VOID, BALCONIES AND GARAGE	
MAX. ALLOWABLE FSR BY COUNCIL:	487.45 SQM 50%

**NOTE:**  
ALL GROUND LINES ARE APPROXIMATE.  
EXTENT OF FILL & BATTER WILL BE  
DETERMINED ON SITE. SEDIMENT BARRIERS  
ARE TO BE CUSTOMISED SITE SPECIFIC

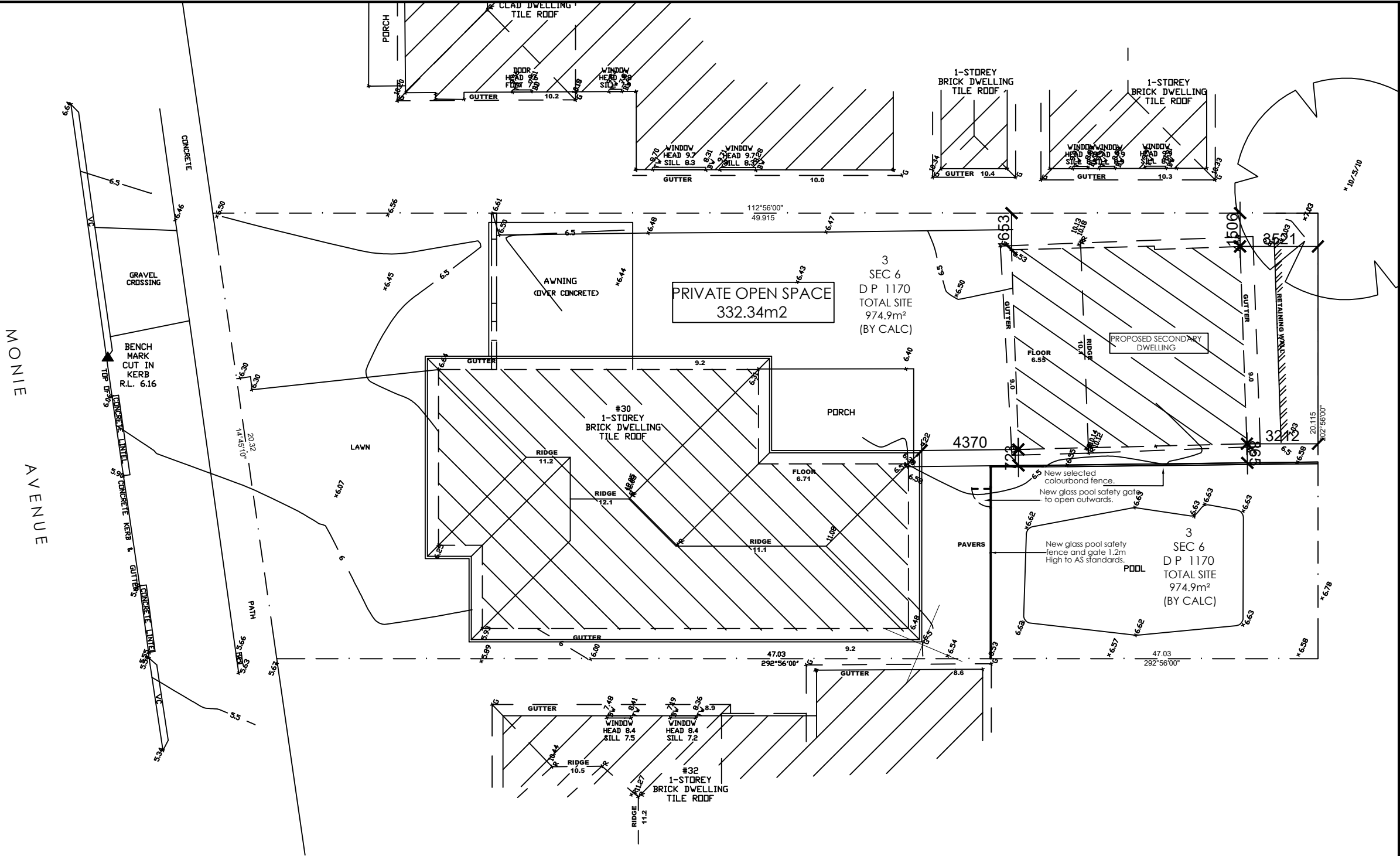


# SITE PLAN

SCALE 1:200

## GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED  
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY  
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION  
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



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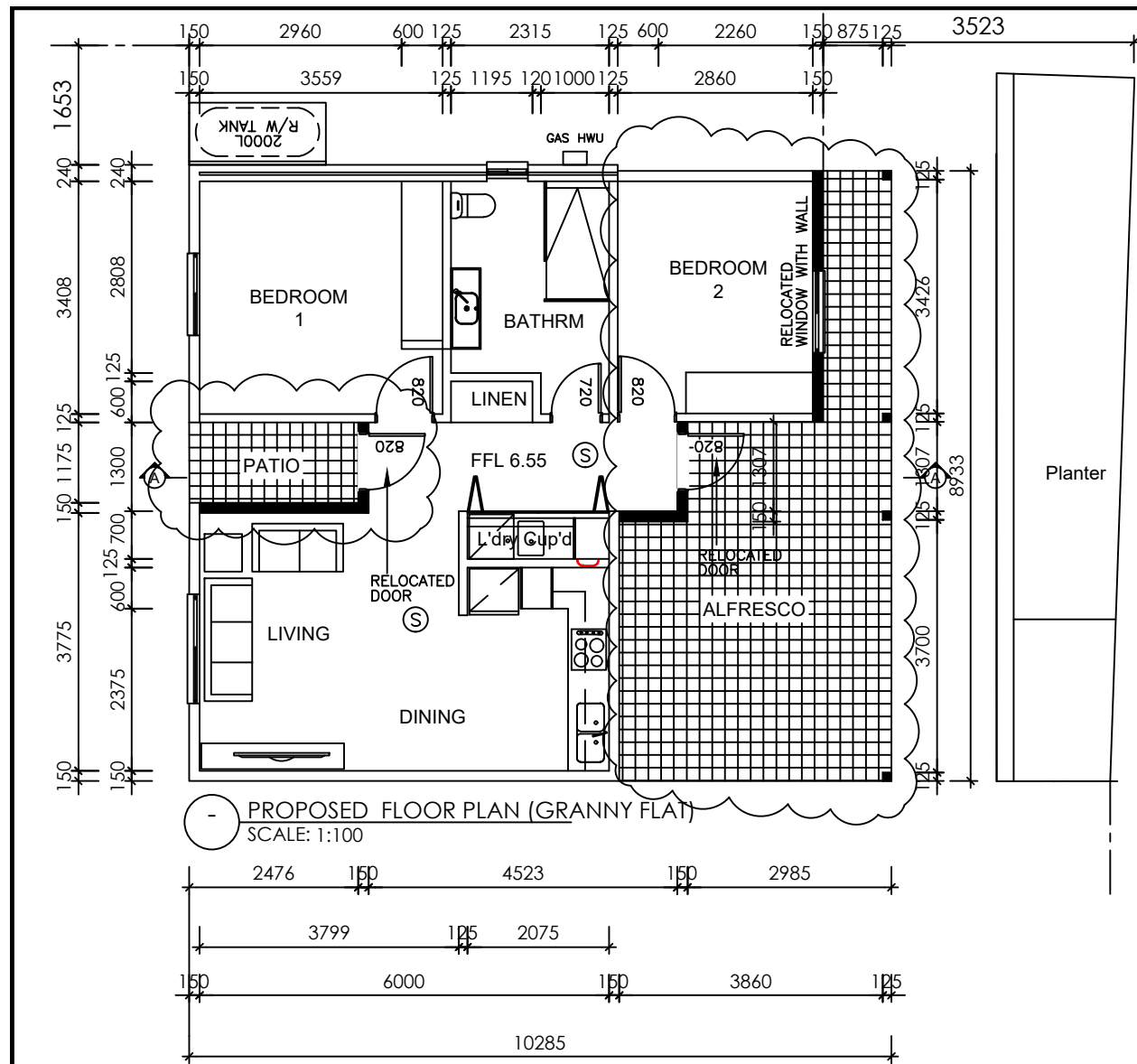
Mobile: 0414 671 114  
email: charbel@inkonplans.com.au

CLIENTS NAME: MR. SATYA SINGH
ADDRESS: 30 MONIE AVENUE SUBURB: EAST HILLS NSW
DRAWING TITLE: SITE PLAN

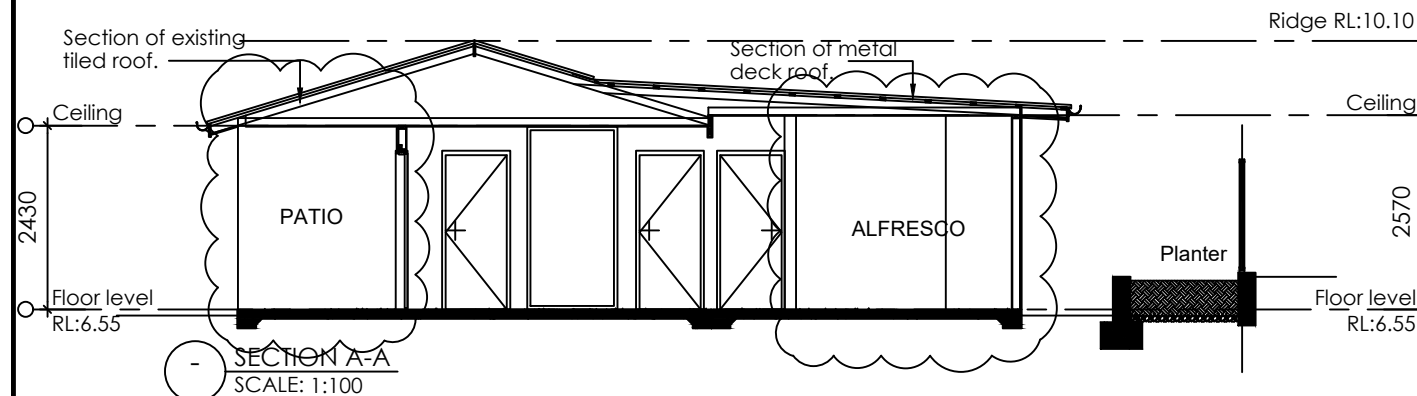
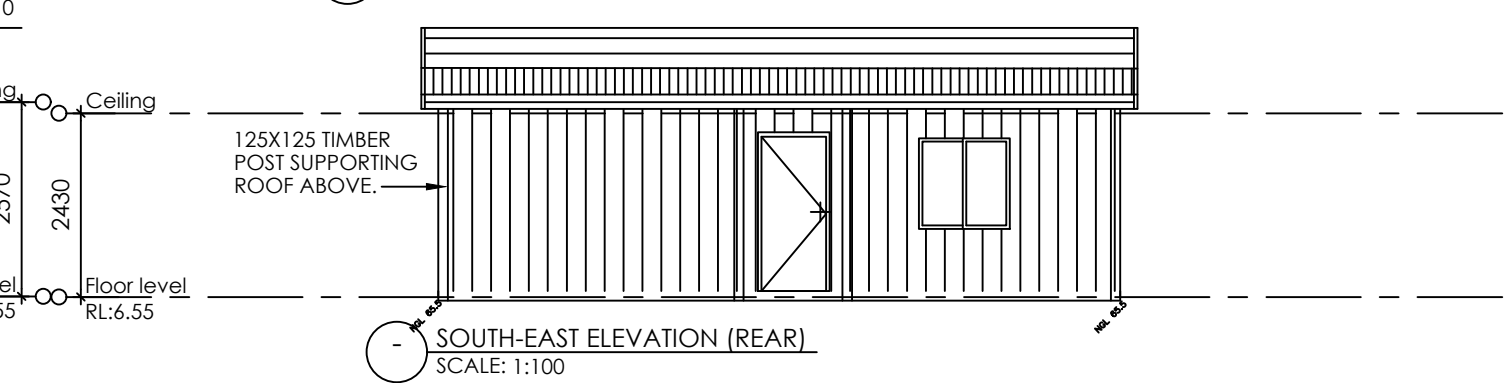
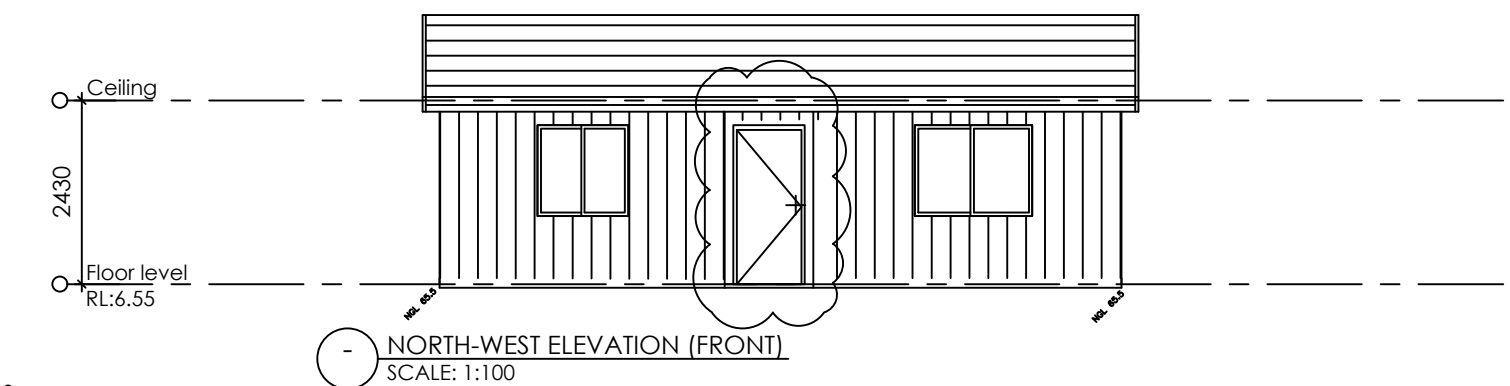
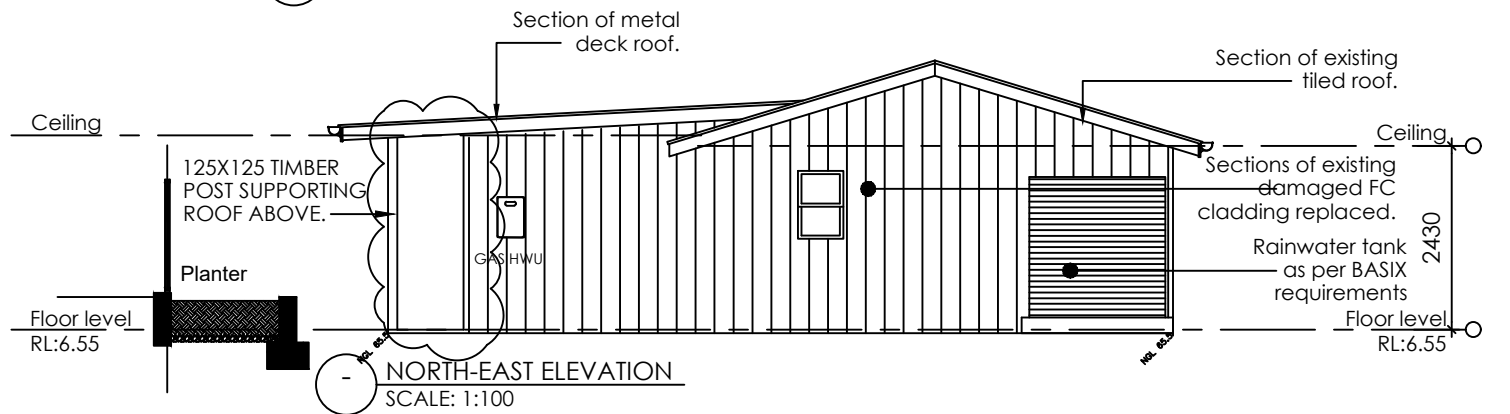
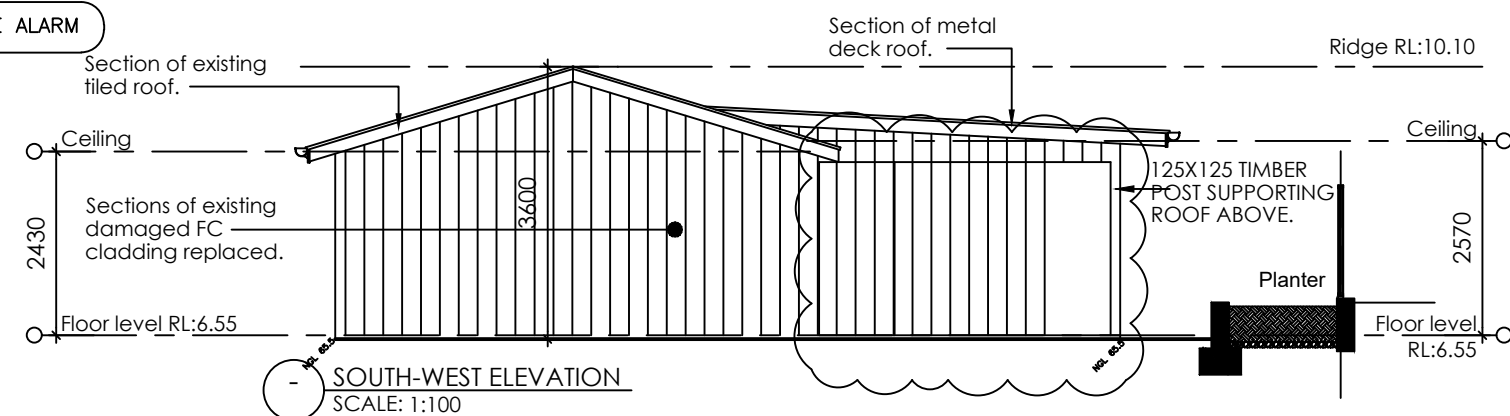
DATE DRAWN: 02.10.2024
DRAWN: CH
SCALE: 1:200
DRAWING NO: 03

NORTH

JOB NO:  
20240016



SMOKE ALARM



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ADDRESS:  
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SUBURB:  
**EAST HILLS NSW**

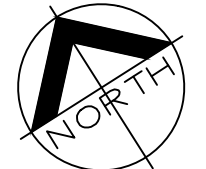
DRAWING TITLE:  
**PROPOSED PLAN AND ELEVATIONS**

DATE DRAWN:  
**02.10.2024**

DRAWN:  
**CH**

SCALE:  
**1:100**

DRAWING NO:  
**04**



JOB NO:  
**20240016**

# COLOUR SCHEDULE

## 30 MONIE AVENUE EAST HILLS

### ROOF:

Colour: Monument

Material: Steel



### GUTTERS:

Colour: Monument



### WINDOWS AND DOORS:

Colour: Black

Material: Aluminium



### External Walls:

Material: Cladding

Colour: White





PRIOR TO ANY EXCAVATION ON SITE, INVESTIGATION TO IDENTIFY SERVICES MUST BE UNDERTAKEN. AT A MINIMUM CONTACT DIAL BEFORE YOU DIG.

DRAWING REGISTER	
Number	Sheet Name
SW01	COVER SHEET
SW02	STORMWATER LAYOUT PLAN
SW03	DETAILS

TEMPORARY SITE FENCE TO BE PLACE AROUND INTERNAL PERIMETER OF SITE UNLESS EXISTING BOUNDARY FENCE

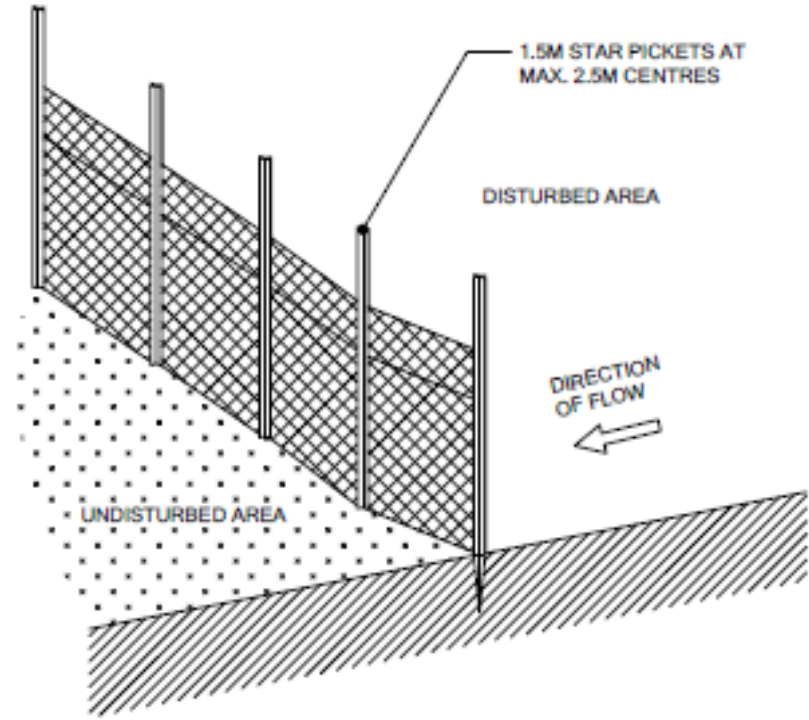
# STORMWATER DRAINAGE PLAN

## 30 MONIE AVENUE, EAST HILLS NSW 2213

### LOT 03 SEC 06 DP 11170

## DA SECONDARY DWELLING (UNAUTHORISED)

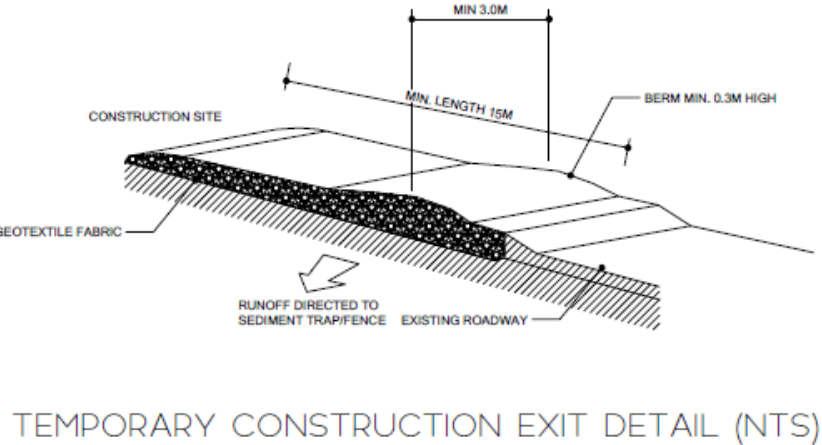
## CANTERBURY BANKSTOWN COUNCIL



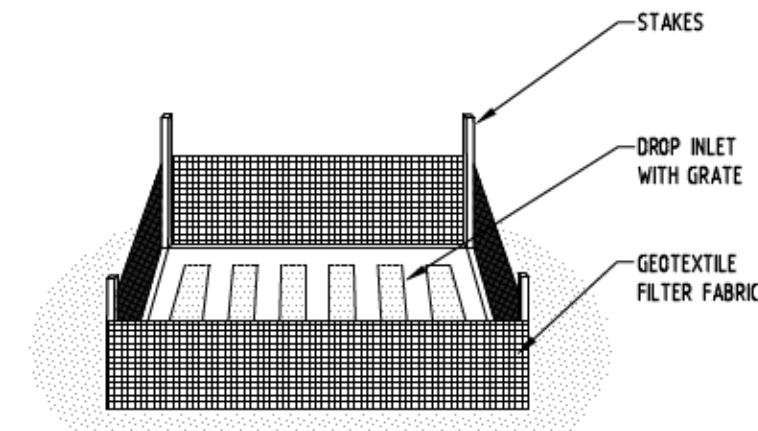
SEDIMENT FENCE DETAIL (NTS)

### GENERAL NOTES

- ALL LINES ARE TO BE MIN. 90mm $\phi$  UPVC @ 1% GRADE UNLESS NOTED OTHERWISE.
- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS. ALL DESIGN LEVELS SHOWN ON PLAN SHALL BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS.
- ALL PIPES TO HAVE MIN 200mm COVER IF LOCATED WITHIN THE PROPERTY, UNLESS CONCRETE PROTECTED.
- ALL PITS AND GRATES IN DRIVEWAYS SHALL BE HEAVY DUTY GRATES. DIRECT SURFACE FLOW TO ALL GRATED SURFACE INLET PITS.
- ALL WORKS TO BE DONE IN ACCORDANCE WITH COUNCIL'S DCP AND TO COUNCILS SATISFACTION. WORKS WITHIN THE COUNCIL ASSET AREA ARE TO BE CONSTRUCTED TO THE COUNCIL REQUIREMENTS.
- LOCATION OF DOWNPIPES & FLOOR WASTES ARE INDICATIVE ONLY. DOWNPIPES & FLOOR WASTE SIZE, LOCATION QUANTITY TO BE DETERMINED BY BUILDER & IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, LANDSCAPE & STRUCTURAL PLANS.
- ANY DISCREPANCIES OR OMISSIONS SHALL BE REFERRED TO THE DESIGN ENGINEER AND COUNCIL ENGINEER FOR RESOLUTION.
- ALL GUTTERS WILL BE FILLED WITH LEAF GUARDS AND SHOULD BE INSPECTED AND CLEANED TO ENSURE LEAF LITTER CANNOT ENTER THE DOWNPIPES.
- ALL PIT GRATES ON SITE MUST BE HINGED WITH J-BOLT LOCKDOWN SYSTEMS.
- ALL WORKS TO COMPLY WITH AUSTRALIAN STANDARD 3500.3.
- PITS DEEPER THAN 1m REQUIRE STEP IRONS IN A STAGGERED MANNER. THE DEPTH OF ANY PIT IN EXCESS OF 2m SHALL BE STRUCTURALLY DESIGNED AND CERTIFIED BY A STRUCTURAL ENGINEER AND SUBMITTED TO COUNCIL FOR APPROVAL.

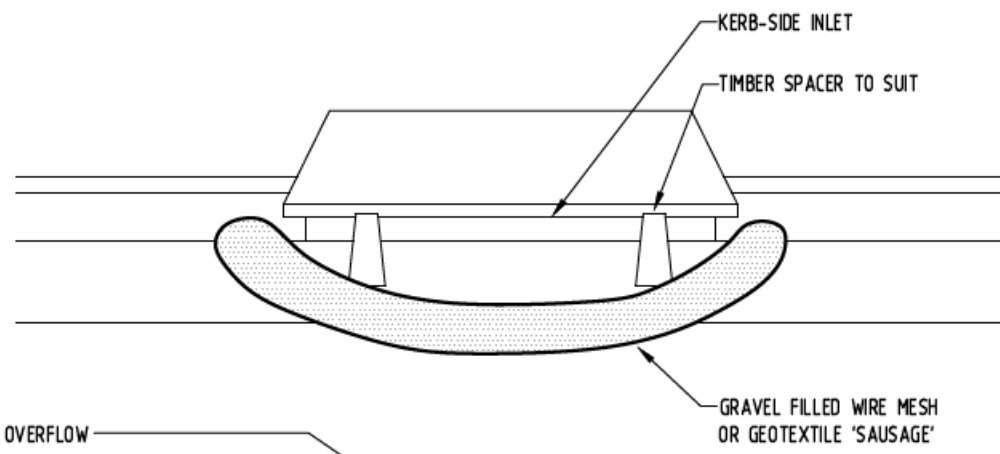
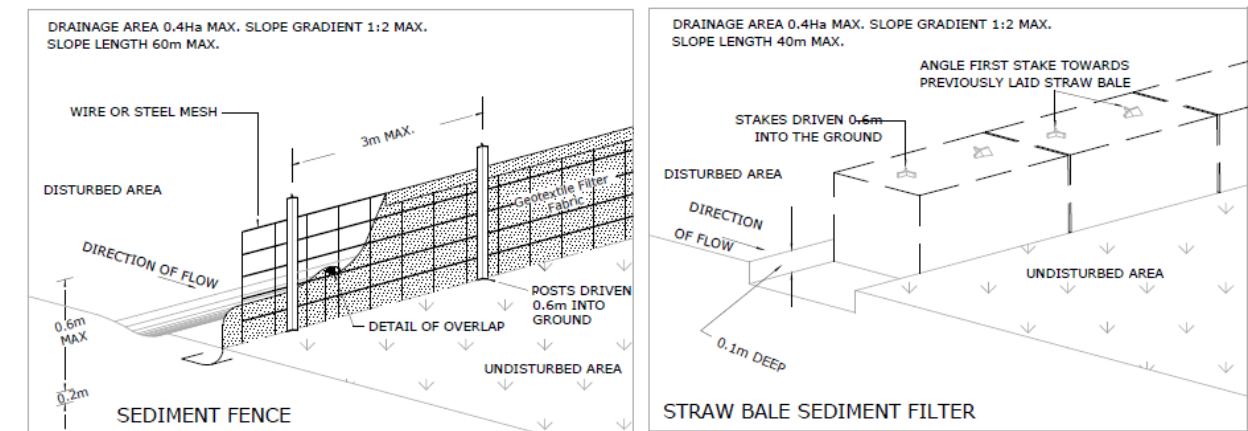
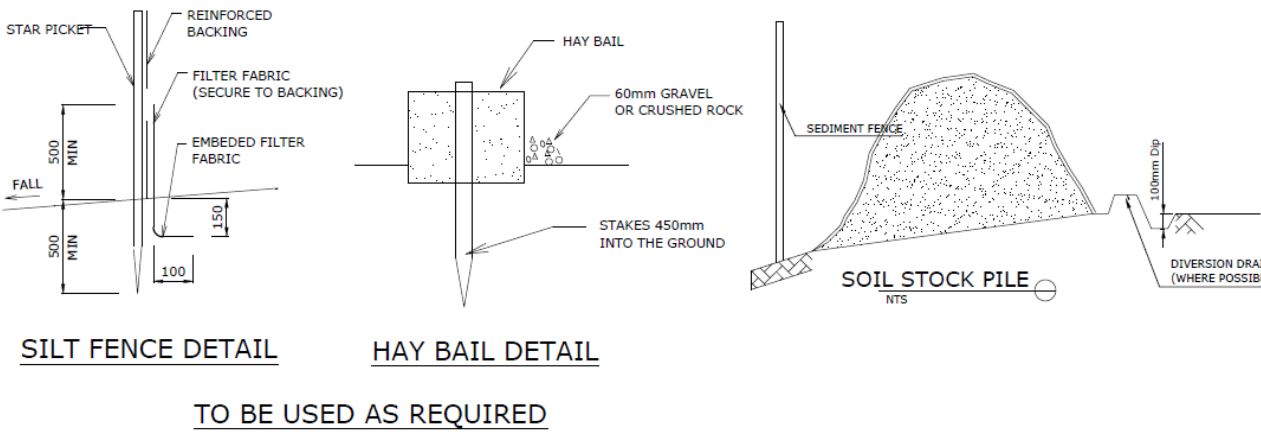


TEMPORARY CONSTRUCTION EXIT DETAIL (NTS)



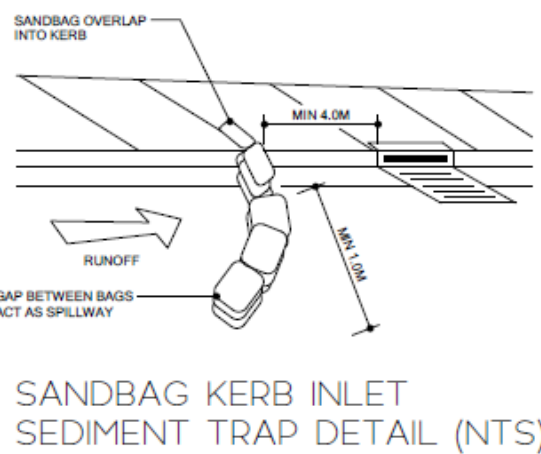
### EROSION CONTROL NOTES

- ALL EROSION & SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH 'MANAGING URBAN STORMWATER', 3RD EDITION PRODUCED BY THE NSW DEPARTMENT OF HOUSING.
- ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION.
- ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECTURAL OR LANDSCAPE DRAWINGS.
- EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS, PAVEMENTS ETC.
- INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER.
- NOTWITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.
- ALL STORAGE AREAS AND STOCKPILES SHALL BE BUNDED.



### ABBREVIATIONS

DP	DOWNPIPE
exDP	EXISTING DOWNPIPE
RL	RELATIVE LEVEL
IL	INVERT LEVEL
RWT	RAINWATER TANK
KIP	KERB INLET PIT
FFL	FINISH FLOOR LEVEL
TOP	TOP OF KERB
SWRM	STORMWATER RISING MAIN
NGL	NATURAL GROUND LEVEL
SL	SURFACE LEVEL
OSD	ON-SITE DETENTION
RW	RETAINING WALL
SW	STORMWATER
TOW	TOP OF WALL
UPVC	UNPLASTICISED POLYVINYL CHLORIDE
RWO	RAINWATER OUTLET
RH	RAINHEAD
FW	FLOOR WASTE
TWL	TOP WATER LEVEL
SS	SUB SOIL
HD	HEAVY DUTY



SANDBAG KERB INLET SEDIMENT TRAP DETAIL (NTS)

### LEGEND

---	EXISTING STORMWATER DRAINAGE
---	CHARGED STORWATER DRAINAGE
---	GRAVITY STORMWATER DRAINAGE
SS	SUBSOIL DRAIN
DP	DOWNPIPE
	GREATER SURFACE INLET PIT
	OVERLAND FLOW PATH
91.2	EXISTING NATURAL GROUND LEVEL
	CLEAN EYE
	DOWNPIPE SPREADER
RWT	RAINWATER TANK
	WARNING LIGHT

- DP : 100mm DIA DOWN PIPE
- P1: 100mm UPVC PIPE AT 1.0% MIN. GRADE
- P2: 150mm UPVC PIPE AT 1% MIN. GRADE
- P3: 100mm UPVC PIPE - FULLY SEALED - CHARGED
- P4: 150mm UPVC PIPE - FULLY SEALED - CHARGED

BASIX CERTIFICATE - 1767995S, 09 OCTOBER 2024

REQUIREMENTS:  
2,000L RAINWATER TANK TO COLLECT 50m<sup>2</sup> OF ROOF WATER AND CONNECT TO TOILETS, EXTERNAL TAP AND WASHING MACHINE.

FOR DA APPROVAL



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GREENACRE, NSW 2190

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INFO@NLCONSULTANTS.COM.AU

SIGNED: *Nouhad Farah*

NOUHAD FARAH  
B.E. MIE AUST. NER. CPENG  
MEMBERSHIP NUMBER: 3312640

### NOTES

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22/10/2024	ISSUE FOR DA APPROVAL	NF	A

CLIENT: CHARBEL HANNA, INKON PLANS

30 MONIE AVE, EAST HILLS - SECONDARY DWELLING - STORMWATER DESIGN

### COVER SHEET

Drawn by NLCONS Checked by N.FARAH

Date 22/10/2024

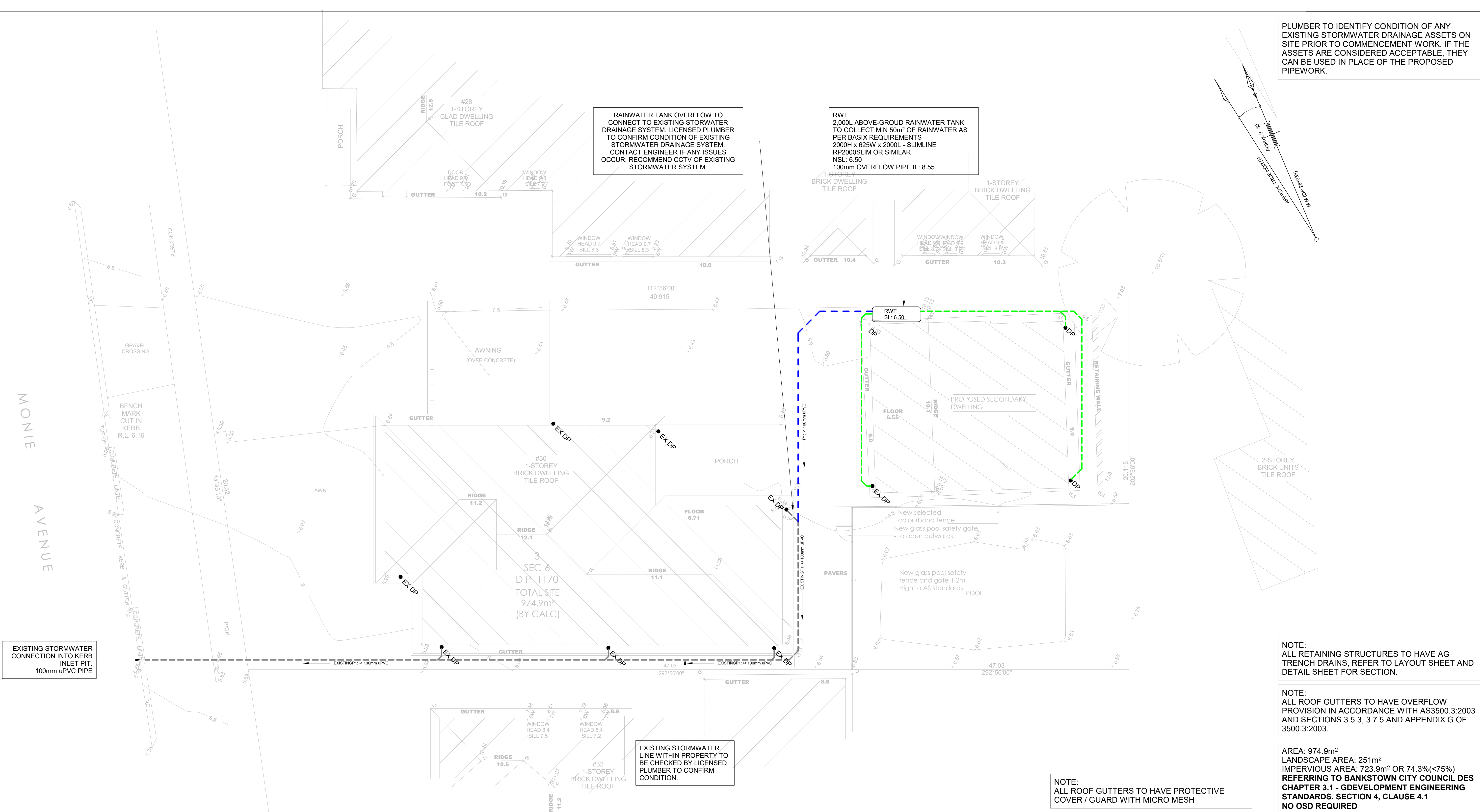
Project number SYD24/646

Sheet number SW01

Scale 1 : 100







FOR DA APPROVAL

PLUMBER TO IDENTIFY CONDITION OF ANY EXISTING STORMWATER DRAINAGE ASSETS ON SITE PRIOR TO COMMENCEMENT WORK. IF THE ASSETS ARE CONSIDERED ACCEPTABLE, THEY CAN BE USED IN PLACE OF THE PROPOSED PIPEWORK.

RAINWATER TANK OVERFLOW TO CONNECT TO EXISTING STORMWATER DRAINAGE SYSTEM. LICENSED PLUMBER TO CONFIRM CONDITION OF EXISTING STORMWATER DRAINAGE SYSTEM. CONTACT ENGINEER IF ANY ISSUES OCCUR. RECOMMEND CCTV OF EXISTING STORMWATER SYSTEM.

RWT 2,000L ABOVE-GROUND RAINWATER TANK TO COLLECT MIN 50m² OF RAINWATER AS PER BASIX REQUIREMENTS 2000H x 625W x 2000L - SLIMLINE RP2000SLIM OR SIMILAR NSL: 6.50 100mm OVERFLOW PIPE IL: 8.55

EXISTING STORMWATER CONNECTION INTO KERB INLET PIT. 100mm uPVC PIPE

EXISTING STORMWATER LINE WITHIN PROPERTY TO BE CHECKED BY LICENSED PLUMBER TO CONFIRM CONDITION.

NOTE: ALL RETAINING STRUCTURES TO HAVE AG TRENCH DRAINS, REFER TO LAYOUT SHEET AND DETAIL SHEET FOR SECTION.

NOTE: ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS3500.3:2003 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF 3500.3:2003.

AREA: 974.9m² LANDSCAPE AREA: 251m² IMPERVIOUS AREA: 723.9m² OR 74.3%(<75%) REFERRING TO BANKSTOWN CITY COUNCIL DES CHAPTER 3.1 - GDEVELOPMENT ENGINEERING STANDARDS. SECTION 4, CLAUSE 4.1 NO OSD REQUIRED

NOTE: THIS DRAWING IS NOT TO BE USED FOR SETOUT PURPOSES - REFER TO ARCHITECTURAL DRAWINGS BY INKON PLANS.

NOTE: ALL ROOF GUTTERS TO HAVE PROTECTIVE COVER / GUARD WITH MICRO MESH

NOTE: BOX GUTTERS SHALL COMPLY WITH AS 2179.1 AND HAVE A MIN GRADE OF 1:200 OF SUMP / DOWNPIPE.



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NOUHAD FARAH  
B.E. MIE AUST. NER. CPENG  
MEMBERSHIP NUMBER: 3312640

- NOTES
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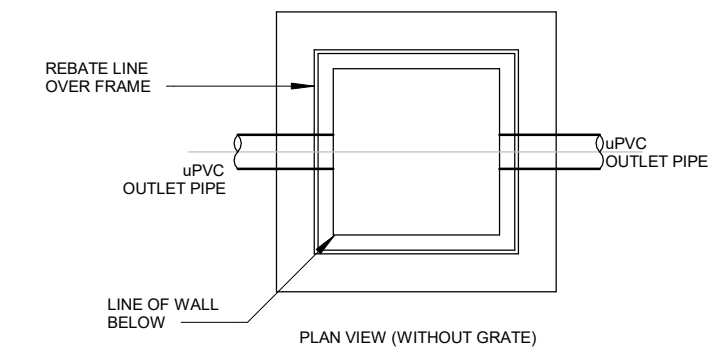
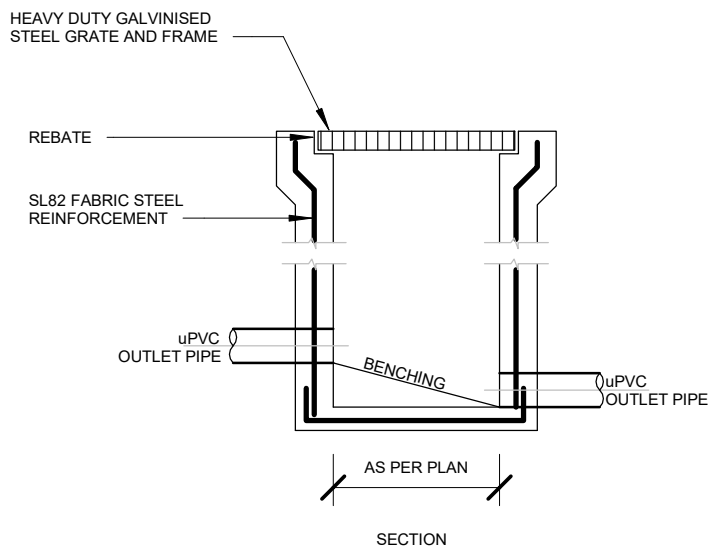
CLIENT: CHARBEL HANNA, INKON PLANS  
30 MONIE AVE, EAST HILLS - SECONDARY DWELLING - STORMWATER DESIGN

STORMWATER LAYOUT PLAN

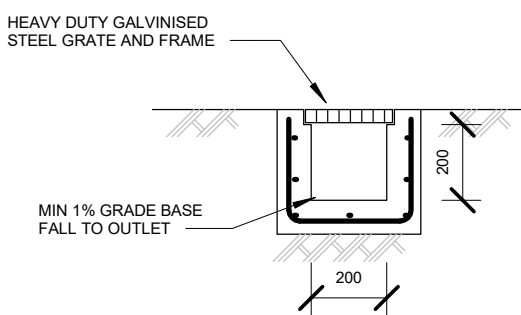
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Date 22/10/2024  
Project number SYD24/646  
Sheet number SW02  
Scale 1 : 100

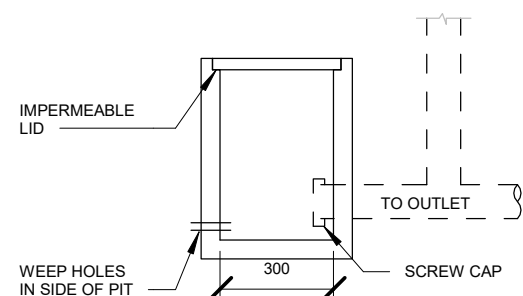




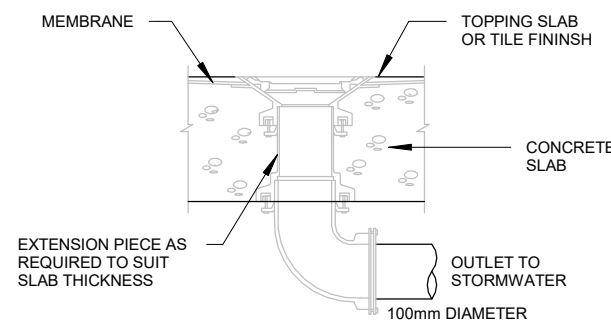
DETAIL 1  
STORMWATER PIT  
SCALE 1:20



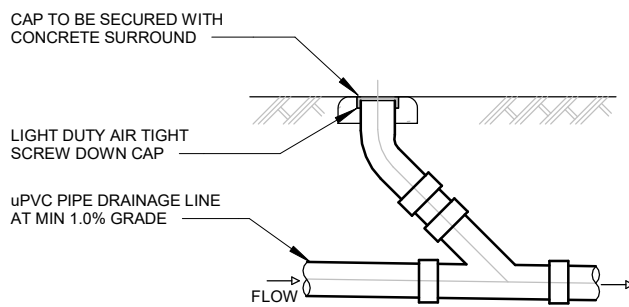
DETAIL 2  
GRADED TRENCH DRAIN  
SCALE 1:20



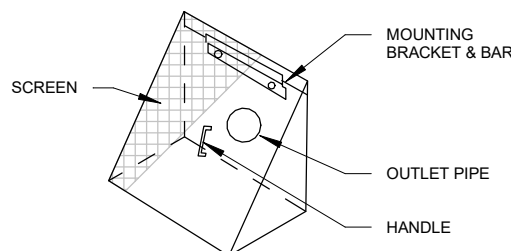
DETAIL 3  
CLEANING EYE DETAIL  
SCALE 1:20



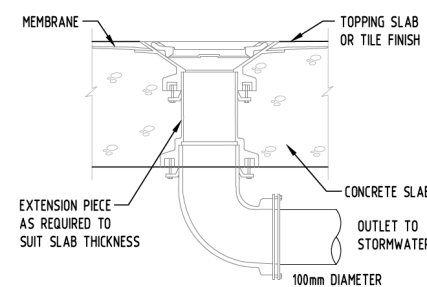
DETAIL 4  
RAINWATER OUTLET  
NOT TO SCALE



DETAIL 5  
CLEANING EYE DETAIL  
SCALE 1:20

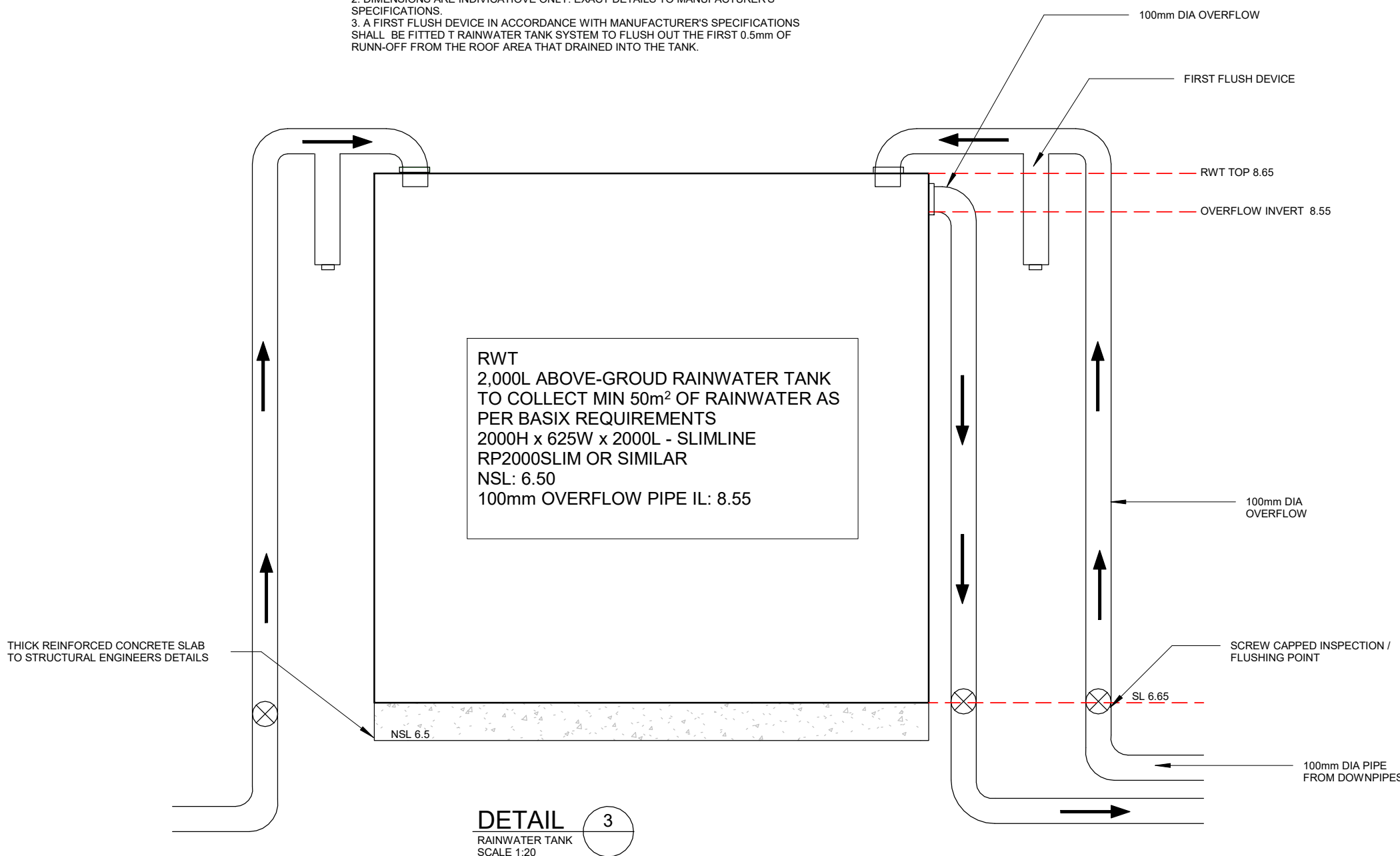


DETAIL 7  
DEBRIS SCREEN  
SCALE N.T.S.

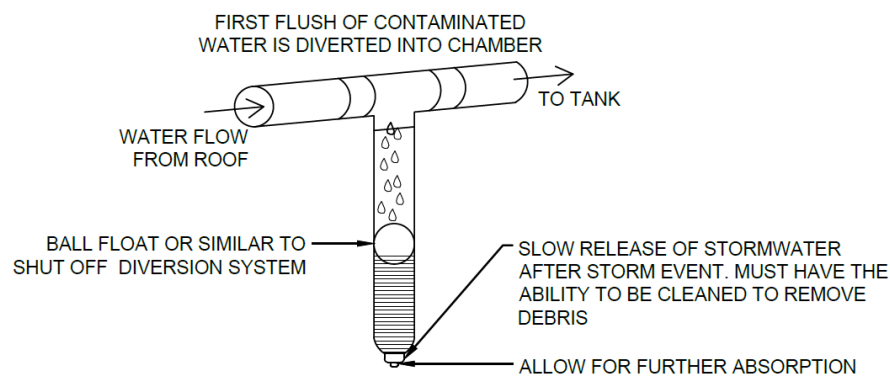


DETAIL 5  
RAINWATER OUTLET  
NOT TO SCALE

RAINWATER TANK NOTES:  
1. TYPICAL RAINWATER TANK MEASUREMENTS  
2. DIMENSIONS ARE INDICATIVE ONLY. EXACT DETAILS TO MANUFACTURER'S SPECIFICATIONS  
3. A FIRST FLUSH DEVICE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS SHALL BE FITTED TO RAINWATER TANK SYSTEM TO FLUSH OUT THE FIRST 0.5mm OF RUN-OFF FROM THE ROOF AREA THAT DRAINED INTO THE TANK.



DETAIL 3  
RAINWATER TANK  
SCALE 1:20



FIRST FLUSH WATER  
DIVERTER DETAIL  
N.T.S.

FOR DA APPROVAL



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NOUHAD FARAH  
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MEMBERSHIP NUMBER: 3312640

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#### AMENDMENT

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#### INIT

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CLIENT: CHARBEL HANNA, INKON PLANS

30 MONIE AVE, EAST HILLS - SECONDARY  
DWELLING - STORMWATER DESIGN

#### DETAILS

Drawn by

NLCONS

Checked by

N.FARAH

Date

22/10/2024

Project number

SYD24/646

Sheet number

SW03

Scale

1 : 20

